

# AI-Powered Hospitality

## Frankfurt Flagship Project

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Redefining hospitality through automation and  
design.

Federico Sanna





Dolcevita Capital Group



# The future of hospitality has finally arrived.

Federico Sanna



# HOTELS ARE OUTDATED.

Smarthotels are gimmicks.

Staffing costs are  
exploding.







Guests want seamless,  
contactless, futuristic experiences.

Federico Sanna



# We are builders of experiences, not just hotels.

1

## Heritage

3 generations of hospitality DNA in Northern Sardinia.

## Track Record

300+ units under management in property management & hospitality with Dolcevida already operating in Frankfurt.

3

## Expertise

Partner with 10+ years in German hospitality; former manager of Frankfurt luxury hotels.

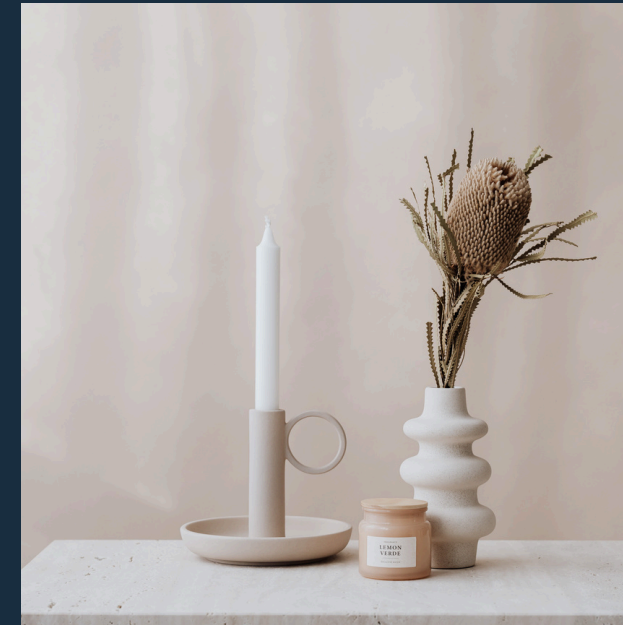
## Innovation

Pioneers in AI-driven real estate and boutique hospitality.

2

4

Dolcevida Capital Group





**Dolcevita** is where hospitality,  
technology, and design converge.

Dolcevita Capital Group



Federico Sanna



# Dolcevita Smart Boutique Aparthotel – Frankfurt

1

First AI-powered aparthotel in Germany.

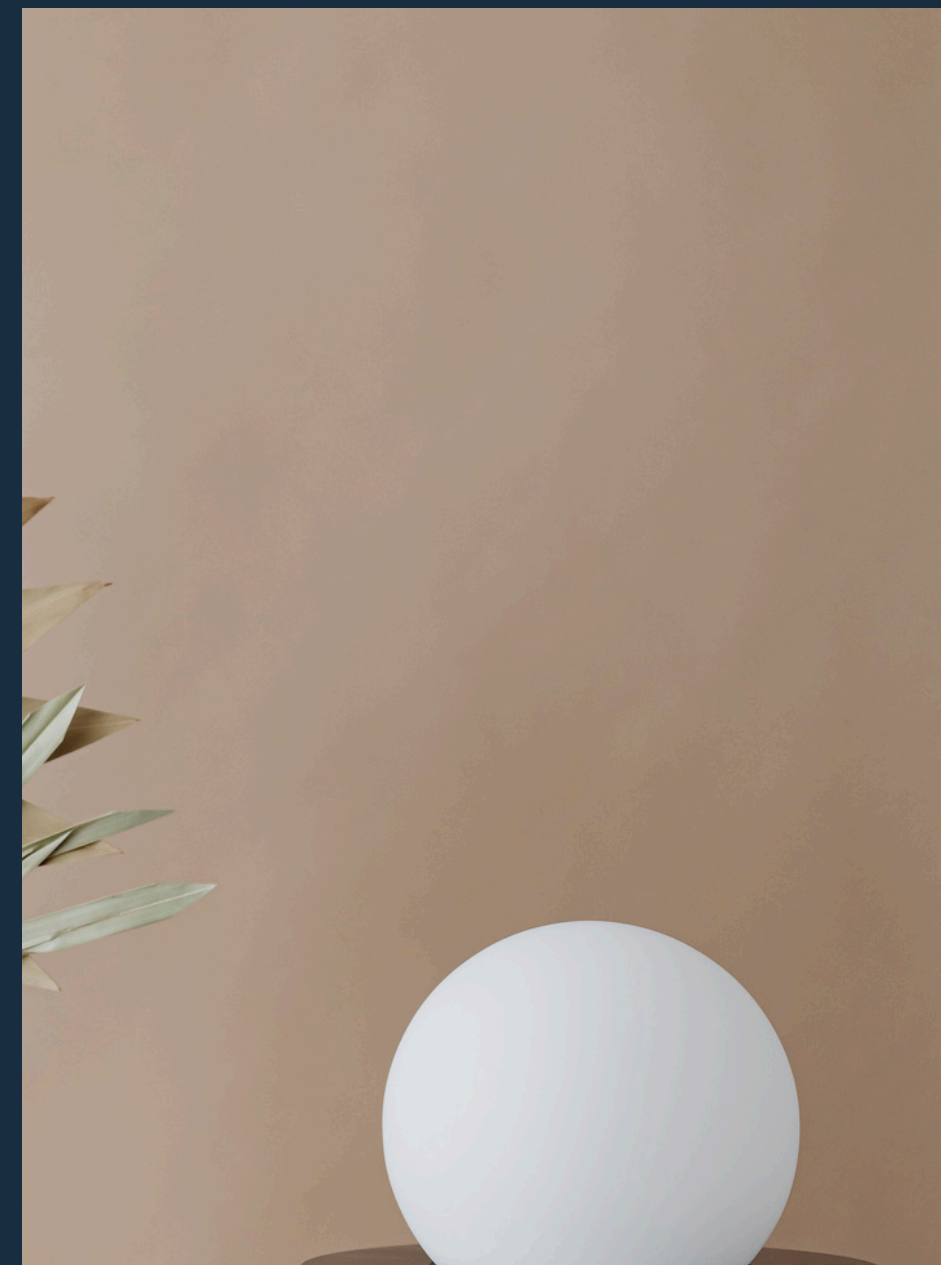
Luxury, automation, efficiency.

2

3

A model designed to scale across Europe.

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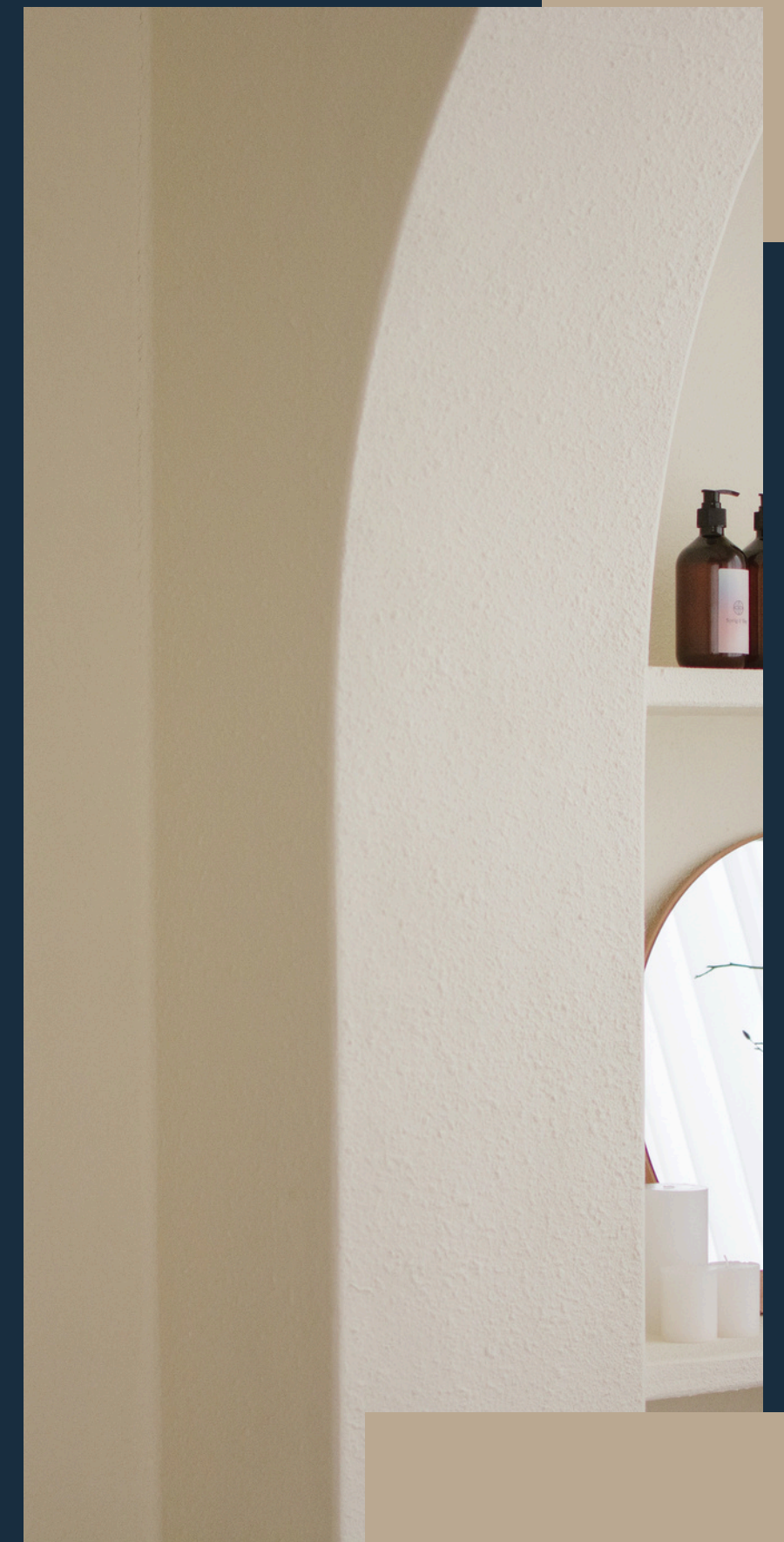


# The Difference

Not a hotel.

Not a rental.

**A living experience.**





The question is....  
**Are we ready for a newly imagined future?**



# AI check-in with face recognition.





# AI cocktail lounge. The first in Frankfurt.





# Automated spa & gym with memberships.





# AI laundromat.





Luxury units, **designed for executives.**





# Why this model wins

No reception.

No concierge.

Minimal staff – only managers + cleaning.

AI runs operations.

**Guests run their own experience.**

**NOI margin far above traditional hotels.**





# Traditional

20%+ payroll

45–55% OpEx

NOI margin 25–35%

# Dolcevita

6–9% payroll

~30% OpEx

NOI margin >40%

Ancillary revenue  
automated





# WHY NOW?

1

Staffing crisis in Europe.

Guests demand automation +  
personalization.

2

3

Serviced living is the fastest growing  
segment.

Regulators push against Airbnb →  
**Aparthotels win.**

4

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**The Markets.**

Frankfurt today.





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Tomorrow?

Milan, Warsaw, Belgrade,  
Bucharest.





# The process.

1

## Evaluation and finding.

We find and evaluate complexes studying competition and evaluating past performance.

## Project and rendering.

We work with selected engineers, architects and technicians to develop our futuristic AI projects at the optimal cost.

3

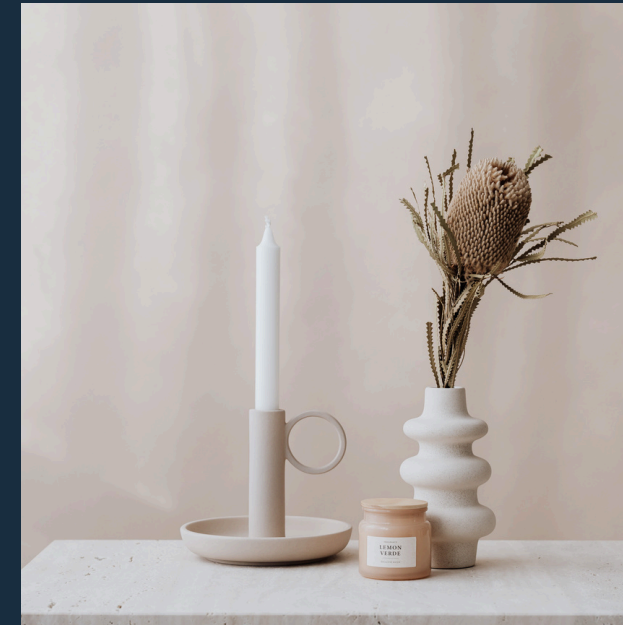
## Construction.

We'll delegate the project to our developer and general contractor for our project to take life.

## Launch.

We set up the website, photoshoots and marketing to pre-launch the structure to our exclusive network.

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# The economics.

**CAPEX:** €25.3M (on average per a 60-80 apartments complex)

**Occupancy:** 78% throughout the year with picks

**Yield on cost:** 8–11%

**ADR target:** €145 on average (more with our strategies)

**NOI Year 1:** €2.0M+ to **NOI Year 5:** €2.8M+ at regime

**IRR:** mid-high teens







Luxury that runs itself.



We invite you to join the  
flagship of a new era in  
hospitality.

Frankfurt is just the beginning.

A new way to real estate investing and paving  
your path to financial security.

**Federico Sanna**

